

**Andrew K. Petersen**  
**Plans Examiner**

Phone (518) 279-7168

Fax (518) 270-4642



**Planning Commission**  
**NOTICE of PUBLIC HEARING**

**William Dunne**  
**Commissioner**

Phone (518) 279-7166

Fax (518) 270-4642

Notice is hereby given that the Planning Commission of the City of Troy, New York will conduct a public hearing on **Thursday February 16, 2012 at 6:00 P.M.** in the 2<sup>nd</sup> Floor Conference Room A of City Hall in order to hear and decide on proposals for development as follows:

**Old Business**

**PB2011-085** SEQRA and Site Plan Review of a proposal to construct 74 units of senior housing. Project location is House Ave at 9<sup>th</sup> Street, an R-3 Zone, ID 90.63-4-1.1. Applicant is Tom Murley, 32 Hialeha Drive, Troy, NY 12182.

**PB2011-094** SEQRA, Site Plan and Historic Review of a proposal to occupy a vacant storefront with a retail use. Project location is 86 3<sup>rd</sup> Street, a B-4 Zone, ID 101.53-14-7. Applicant is Hussien Logman, 88 3<sup>rd</sup> Street, Troy, NY 12180

**New Business**

**PB2012-002** SEQRA and Site Plan Review of a proposal to renovate and expand an existing restaurant and demolish a single family home. Project location is 880 Second Ave, a B-3 Zone, ID 80.24-2-1. Applicant is Arthur Riley Sr, 18 Mockingbird Ct, Waterford NY 12188.

**PB2012-003** SEQRA and Site Plan Review of a proposal to reoccupy a Chinese's restaurant. Project location is 849 Second Ave, a B-3 Zone, ID 80.24-1-5.1. Applicant is Cheng Zheng, 849 Second Ave, Troy, NY 12182.

**PB2012-004** SEQRA and Site Plan Review of a proposal to reoccupy a clothing store. Project location is 83 5<sup>th</sup> Ave, a B-2 Zone ID 90.46-2-4. Applicant is Amanda Stockwell, 241 Saratoga Ave, Mechanicville NY 12118.

**PB2012-005** SEQRA and Site Plan Review of a proposal to occupy a vacant storefront as a clothing store. Project location is 115 4<sup>th</sup> Street a B-4 Zone, ID 101.53-14-4. Applicant is Jerome P. Newkirk, 30 4<sup>th</sup> Street, Troy, NY 12180.

**PB2012-006** SEQRA and Site Plan Review of a proposal to construct an addition to an existing garage. Project location is 1614 Peoples Ave, an R-1 Zone, ID 101.48-6-2. Applicant is John Hinzelman, 1614 Peoples Ave, Troy, NY 12180.

**PB2012-007** SEQRA and Site Plan Review of a proposal to expand an existing hair salon into an adjacent storefront. Project location is 193-211 (Quayside) River Street, a B-4 Zone, ID 100.60-1-14.1. Applicant is Samuel Judge, 251 River Street, Troy, NY 12180.

**PB2012-008** SEQRA and Site Plan Review of a proposal to occupy a vacant commercial space with a dentist office. Project location is 5 Broadway (Cannon Building), a B-4 Zone, ID101.53-7-2. Applicant is Ahuja Shali, 5 Broadway, Troy, NY 12180.

**PB2012-009** SEQRA and Site Plan Review of a proposal to occupy a vacant storefront with a shoe store. Project location is 97 Congress Street, a B-4 Zone, ID 101.61-1-3. Applicant is Tad Akil, 97 Congress Street, Troy, NY 12180.

Should any unforeseen events occur, any of the proposals noted herein may not be reviewed at said hearing. Any proposals previously tabled by the Commission may be reviewed at this hearing without benefit of public notice. Any other proposals reviewed by the Commission at this hearing will receive publication in this newspaper at least five days prior to the hearing date.

Auxiliary aids and services are available for individuals or groups with disabilities. Please provide one-week advance notice for such service. For information contact the Troy Planning Department at 279-7168. Any person having interest in the above matters will be heard at said time and place.

Planning Commission of the City of Troy, New York

Andrew Petersen

## **Staff Report # PB2011-085**

**Applicant:** Tom Murley

### **Project Summary:**

**PB2011-085** SEQRA and Site Plan Review of a proposal to construct 74 units of senior housing. Project location is House Ave at 9<sup>th</sup> Street, an R-3 Zone, ID 90.63-4-1.1. Applicant is Tom Murley, 32 Hialeah Drive, Troy, NY 12182.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

### **Prior Planning Board Action**

**Prior Zoning Board** Parking Variance granted December 2011

### **Site Design Review:**

#### **Intro**

The applicant proposes to construct a 3 story 74 unit senior housing complex to be situated at House Ave and 9<sup>th</sup> Street. Elevations include a variety of façade treatments in earth tone colors.

#### **Vehicle Access**

The applicant will include 84 parking spaces on site. A private roadway will be constructed into the site from the corner of House Ave and 9<sup>th</sup> Street. A stop sign is proposed for traffic exiting the site onto 9<sup>th</sup> Street. An emergency access is proposed from the bike trail accessible from Ingalls Ave. The applicant will further develop an approach to the site with a grade of approximately 8%.

#### **Site**

The site is bordered by the Uncle Sam Bike Trail to the east, 9<sup>th</sup> Street to the south, House Ave to the west and the Piscawin Creek to the North. The 6.7 project site consists of 4 parcels to be combined into one lot as part of the proposal. The constructible portion of the site is relatively flat with a slight grade for site access.

#### **Storm water**

All impermeable storm water will be collected on site thru a variety of catch basins and stored in an onsite detention area on the west side of the property where it will be slowly drained to the Piscawin Creek. All discharge will be particle separated to prevent contaminations.

#### **Utilities**

Electric and gas and cable services will be made available to the site from 9<sup>th</sup> Street. Water will be supplied from an existing 24 inch main under the bike trail. Sewer will exit site to the east, under the bike trail and connect into the city system at the termination of Craigin Ave

#### **Easements**

Several National Grid easements run through the property for power lines and guide wires. No structures are proposed to be constructed in these areas.

#### **Engineering**

The applicant has provided test borings and engineering material for the site and more specifically the slope. The report indicates a stable ground with no need for piles to be driven.

Planning Staff recommends the site plan review proposal be heard on the **Full Review Agenda** at the February 16, 2011 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.*



## **Staff Report # PB2011-094**

**Applicant:** Hussien Logman

### **Project Summary:**

**PB2011-094** SEQRA, Site Plan and Historic Review of a proposal to occupy a vacant storefront with a retail use. Project location is 86 3<sup>rd</sup> Street, a B-4 Zone, ID 101.53-14-7. Applicant is Hussien Logman, 88 3<sup>rd</sup> Street, Troy, NY 12180

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

### **Prior Planning Board Action**

### **Prior Zoning Board**

### **Site Design Review:**

The applicant proposes to occupy a vacant storefront as a discount beauty supply store, *Discount Beauty Supply*.

The exterior scope of work includes removing plywood from storefront, restoring plate glass windows and doors, scraping and painting trim and removing unsafe air conditioning unit above the front door.

Hours of operation 8AM – 9PM, 7 days a week.

### **Stipulations**

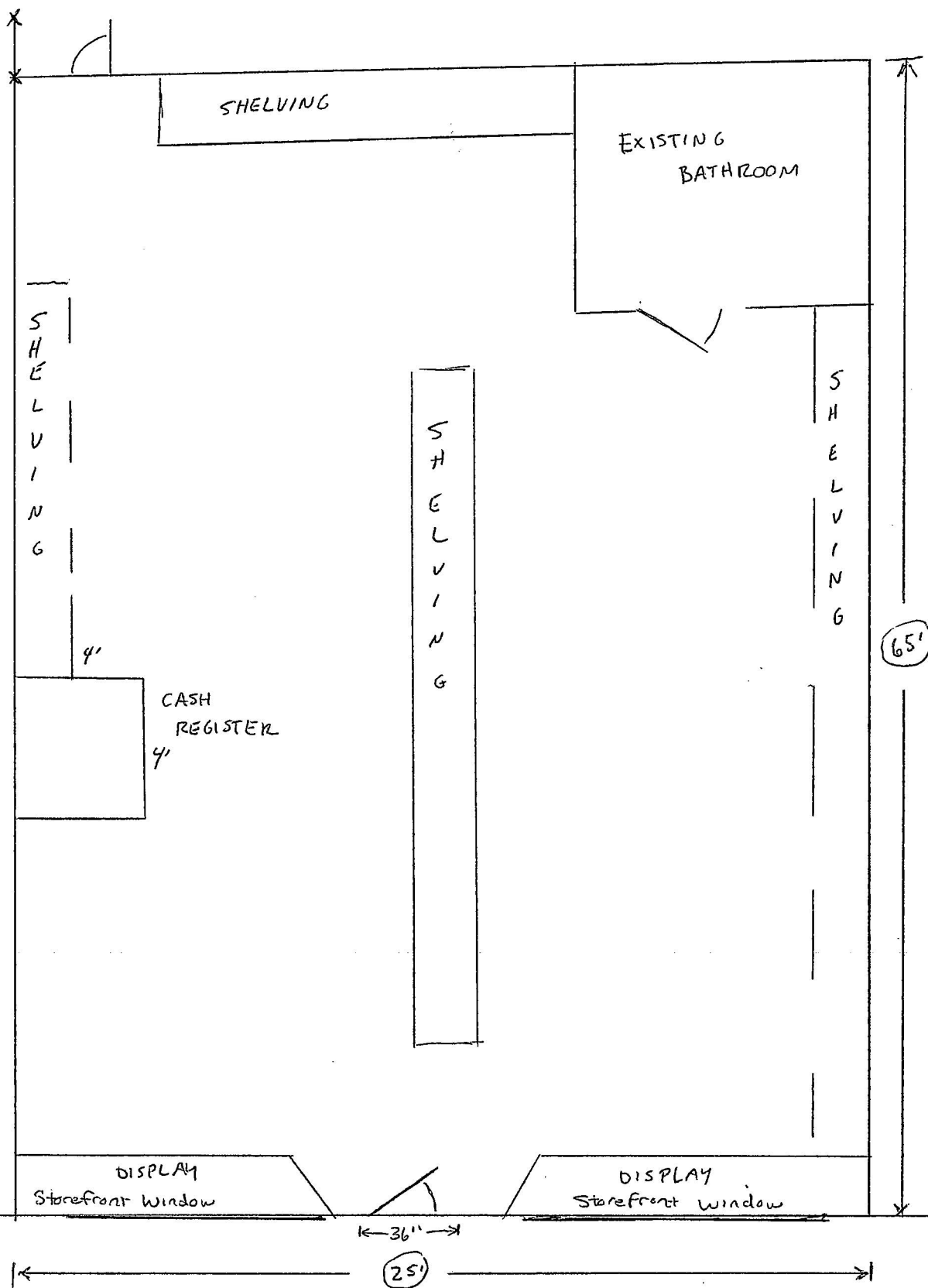
Applicant shall submit historically appropriate signage for review and approval by the Commissioner of Planning.

Applicant shall apply for a work permit for a tenant fit up and *Certificate of Occupancy* with the building department prior to occupying the space.

### **Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

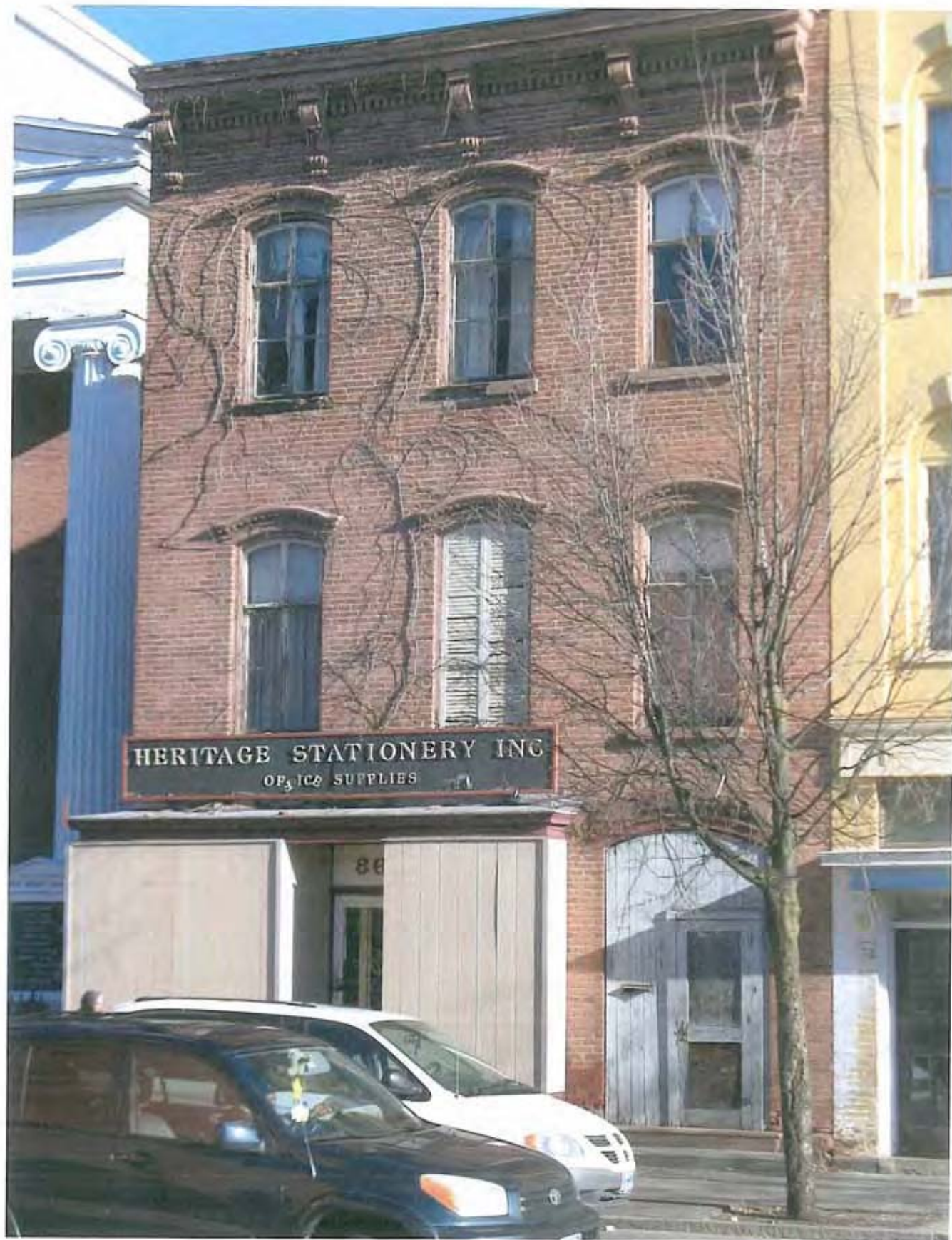
*All projects approved are to be reviewed in accordance with the 2010 NYS Building Code, NYS Fire Code and all other applicable codes.*



#86 3rd Street

Plan

TROY DISCOUNT BEAUTY SUPPLY



## **Staff Report # PB2012-002**

**Applicant:** Arthur Riley Sr.

### **Project Summary:**

**PB2012-002** SEQRA and Site Plan Review of a proposal to renovate and expand an existing restaurant and demolish a single family home. Project location is 880 Second Ave, a B-3 Zone, ID 80.24-2-1. Applicant is Arthur Riley Sr., 18 Mockingbird Ct, Waterford NY 12188.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

The applicant proposes to renovate a vacant restaurant, previously Anatollia and Colonial Diner and occupy with restaurant and bakery serving primarily breakfast and lunch. A name has not been decided upon as of yet.

A 2000 SF addition to the rear of the property is proposed for banquet facilities. A new walk in cooler will be added to the south side of the building. A 500 SF addition will be added to the front of the structure to increase the area for sit down customers.

The applicant proposes to demolish the house to the east of the parcel (6 12<sup>th</sup> Street) for parking and storm water management. Parking area is accessible from 125<sup>th</sup> Street and 3<sup>rd</sup> Ave. All existing parking facing 2<sup>nd</sup> Ave will be removed and replace with green space and plantings. Dumpster will be located in the parking area.

The property grade will be raised so entrance is handicap accessible.

### **Prior Planning Board Action**

### **Prior Zoning Board:**

### **Site Design Review:**

### **Stipulations**

Applicant will be required to construct a dumpster enclosure.

Applicant shall submit signage plan for approval by Planning Staff.

Applicant shall submit storm water management system to city engineer for review and approval

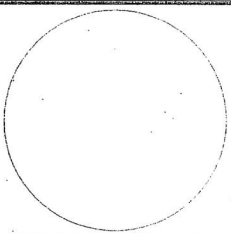
### **Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Full Review Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*

**CDS**  
 David J. Hopper, Architect  
 CREATIVE DRAFTING SERVICES INC.  
 65 Flansburg Lane, Voorheesville, New York 12186  
 DJHopperArchitect@hotmail.com (518)765-9085

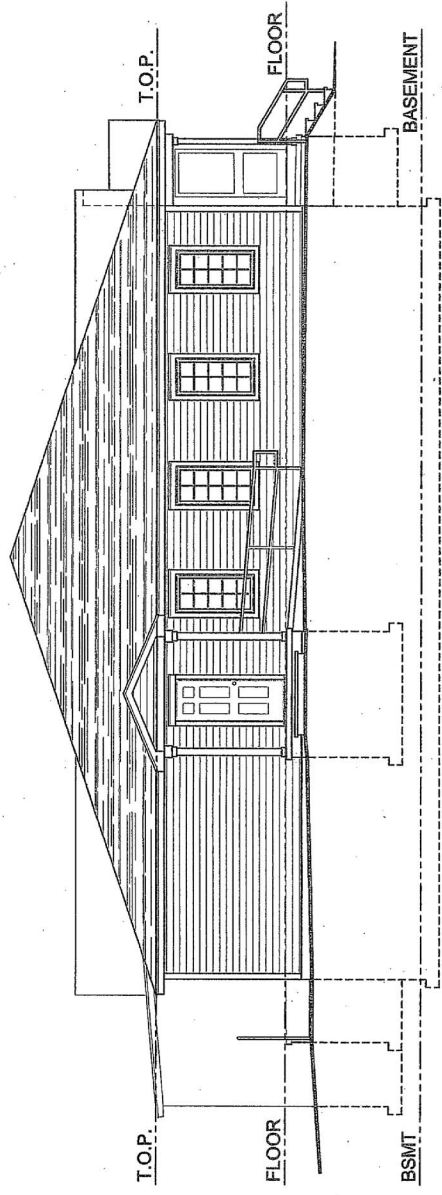
Renovation Addition to:  
**880 2nd Avenue  
 Troy, New York**  
 concept design



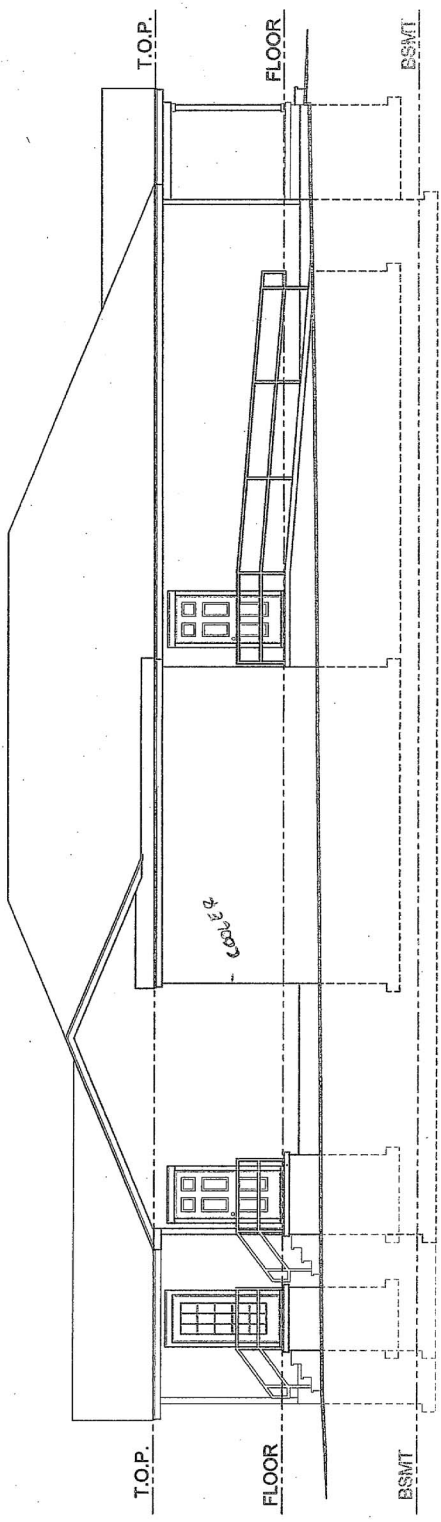
Project No. N11-10-05  
 Date: JAN. 09, 12  
 Scale: As Noted  
 Drawn By: DJH  
 Drawing No.

**A3**  
 dwg. 3 of 3

Revisions:



**REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



David J. Hopper, Architect  
CREATIVE DRAFTING SERVICES INC.  
65 Kinsburg Lane, Voorheesville, New York 12186  
DJHopperArchitect@hotmail.com (518) 765-9085

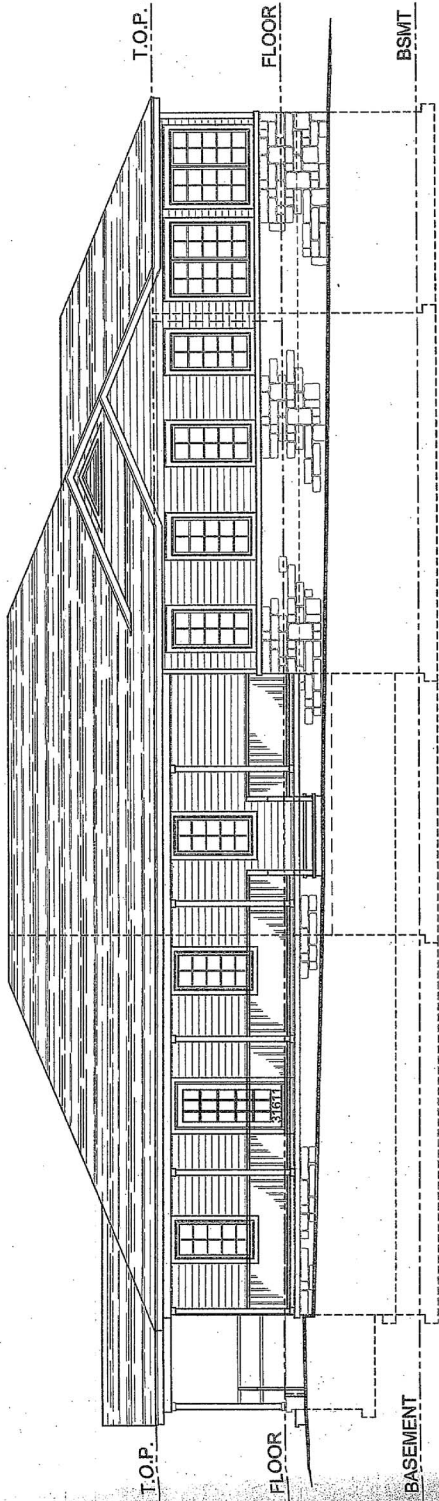
Renovation Addition to:  
880 2nd Avenue  
Troy, New York

concept design

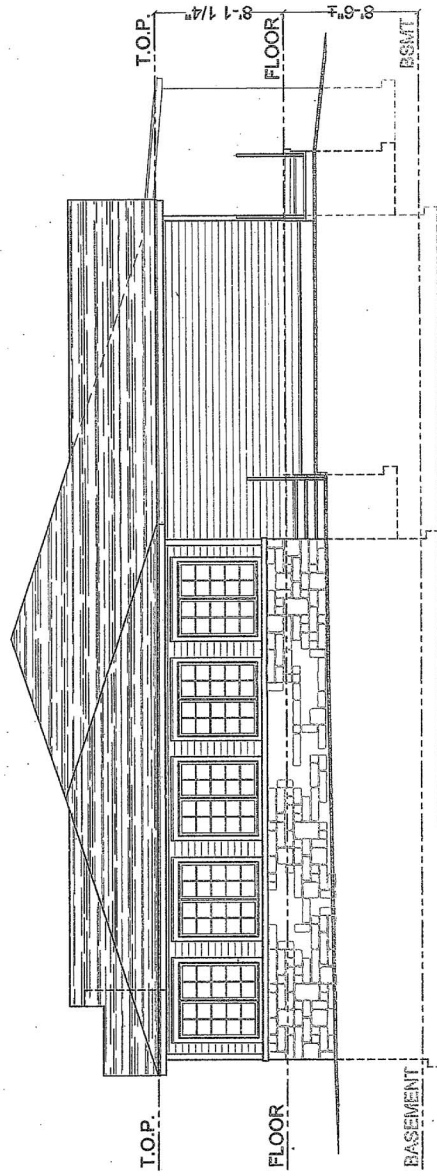
Project No.	N11-10-05
Date:	JAN. 09, 12
Scale:	As Noted
Drawn By:	DJH
Drawing No.	

dwg. 2 of

Revisions:



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



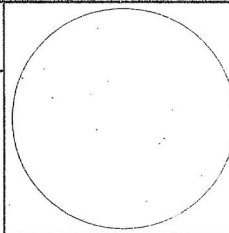
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
(2nd Avenue)

SCALE: 1/8" = 1'-0"

**CDS**  
 David J. Hopper, Architect  
 CREATIVE DRAFTING SERVICES INC.  
 65 Flansburg Lane, Voorheesville, New York 12186  
 DJHopperArchitect@hotmail.com (518)765-9085

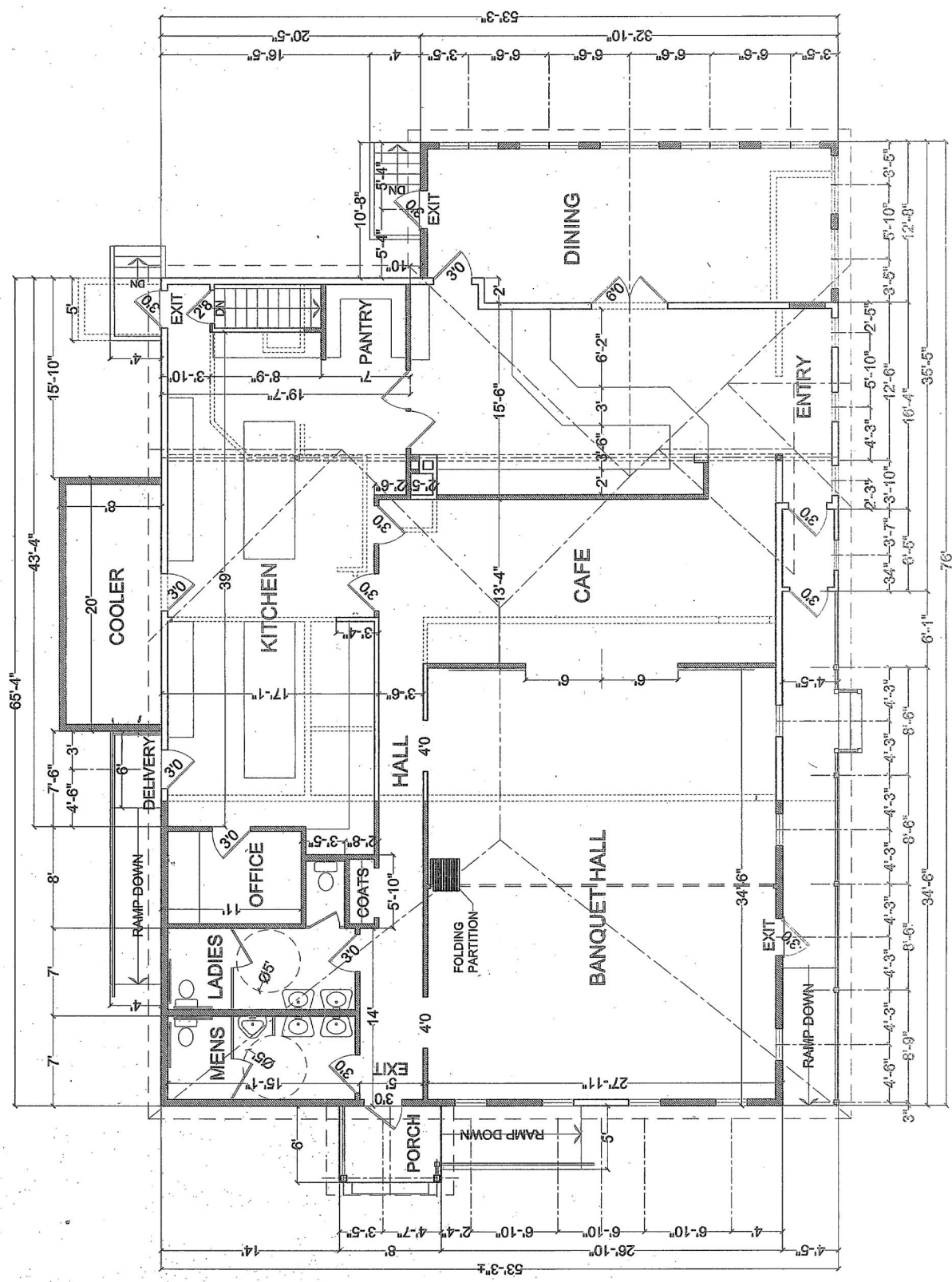
Renovation Addition to:  
 880 2nd Avenue  
 Troy, New York

concept design



Project No. N11-10-05  
 Date: JAN. 09, 12  
 Scale: As Noted  
 Drawn By: DJH  
 Drawing No.

**A1**  
 dwg. 1 of



Revisions:

**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 FLOOR AREA: 3610 sq. ft.

125 STREET

**CDS**  
 David J. Hopper, Architect  
 CREATIVE DRAFTING SERVICES INC.  
 65 Flansburg Lane, Voorheesville, New York 12186  
 DJHopperArchitect@hotmail.com (518)765-9085

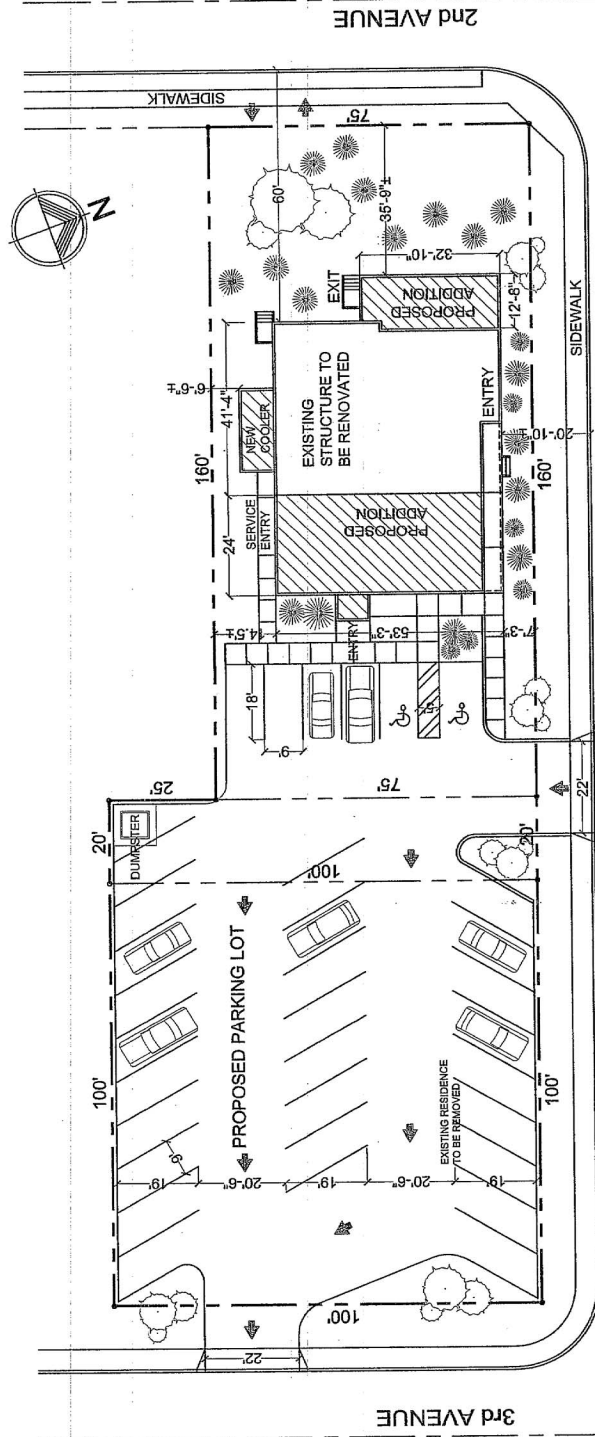
Renovation Addition to:  
 880 2nd Avenue  
 Troy, New York

site sketch

Project No. N11-10-05  
 Date: JAN. 12, 12  
 Scale: As Noted  
 Drawn By: DJH  
 Drawing No.

**S1**  
 dwg. 1 of

Revisions:



125th STREET

# **SITE SKETCH**

SCALE: 1" = 30'-0"











**Staff Report # PB2012-003**

**Applicant:** Cheng Zheng

**Project Summary:**

**PB2012-003** SEQRA and Site Plan Review of a proposal to reoccupy a Chinese's restaurant. Project location is 848 Second Ave, a B-3 Zone, ID 80.24-1-5.1. Applicant is Cheng Zheng, 849 Second Ave, Troy, NY 12182.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board:**

**Site Design Review:**

The applicant proposes to change ownership of an existing Chinese Restaurant. No work or changes are proposed.

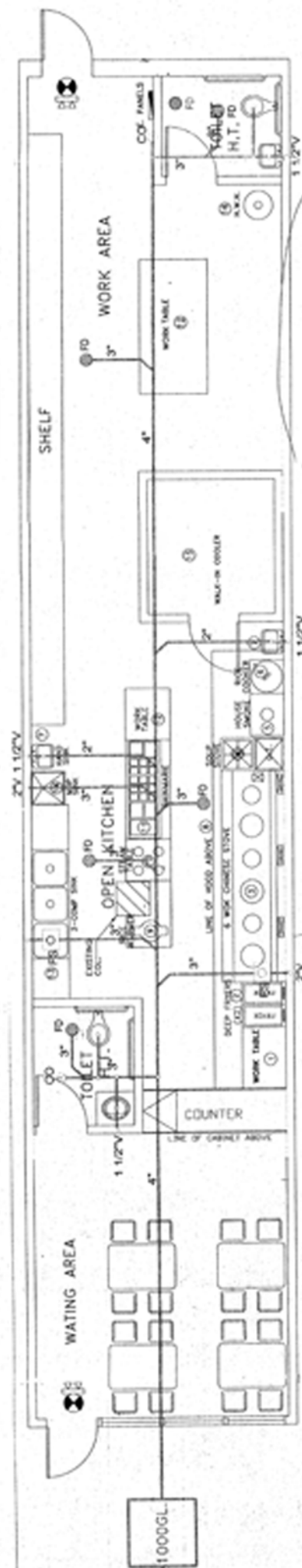
**Stipulations**

**Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*





# PLUMBING PLAN

Hand suppression system required per NFPA 96.2.1.

Panel class 'K' rated portable extinguisher  
NFPA 904.1.5

**Staff Report # PB2012-004**

**Applicant:** Amanda Stockwell

**Project Summary:**

**PB2012-004** SEQRA and Site Plan Review of a proposal to reoccupy a clothing store. Project location is 83 5<sup>th</sup> Ave, a B-2 Zone ID 90.46-2-4. Applicant is Amanda Stockwell, 241 Saratoga Ave, Mechanicville NY 12118.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board:**

**Site Design Review:**

The applicant proposes to continue operation of an existing shoes and clothing store. The new name will be Bugaveli's Apparel. No change to layout is proposed. Hours of operation are daily 12-8PM.

**Stipulations**

Applicant shall submit proposed signage package to be approved by planning staff.  
Applicant shall remove signage affixed to windows per zoning regulations (20% coverage max)  
Applicant shall agree exterior displays and or sales, sidewalk sales are prohibited.  
Applicant shall apply for a work permit for a tenant fit up and *Certificate of Occupancy* with the building department prior to occupying the space.

**Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*







**Staff Report # PB2012-005**

**Applicant:** Jerome P. Newkirk

**Project Summary:**

**PB2012-005** SEQRA and Site Plan Review of a proposal to occupy a vacant storefront as a clothing store. Project location is 115 4<sup>th</sup> Street a B-4 Zone, ID 101.53-14-4. Applicant is Jerome P. Newkirk, 30 4<sup>th</sup> Street, Troy, NY 12180.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board:**

**Site Design Review:**

The applicant proposes to relocate an existing cell phone and apparel store from 30 4<sup>th</sup> Street to 115 4<sup>th</sup> Street. The new location is sufficient in size. Applicant has outgrown the current location. Hours of operation are 10AM – 6PM Monday – Friday.

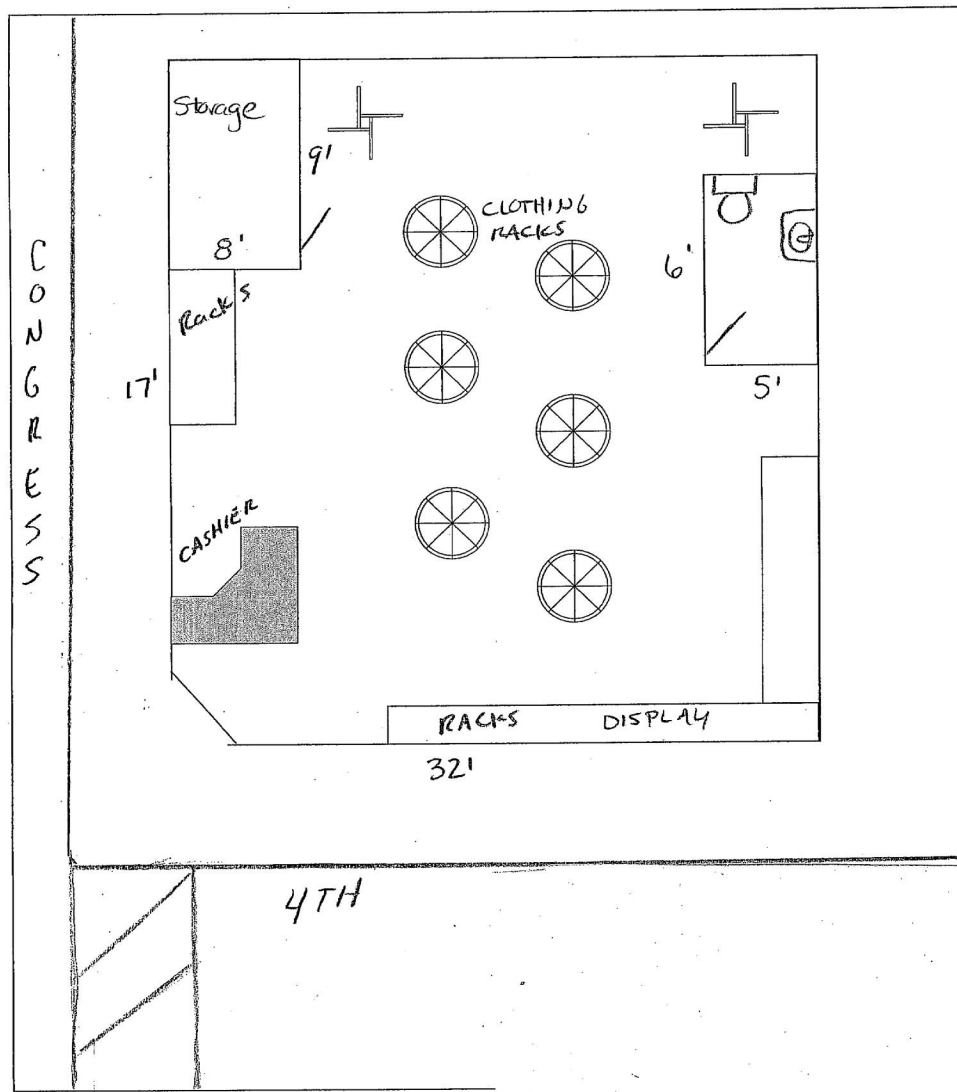
**Stipulations**

Applicant shall agree display of merchandise outside, sales, sidewalk sales, etc are prohibited. Applicant shall submit all signage for approval by planning department. Applicant shall apply for a work permit for a tenant fit up and *Certificate of Occupancy* with the building department prior to occupying the space.

**Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*





**Staff Report # PB2012-006**

**Applicant:** John Hinzelman

**Project Summary:**

**PB2012-006** SEQRA and Site Plan Review of a proposal to construct an addition to an existing garage. Project location is 1614 Peoples Ave, an R-1 Zone, ID 101.48-6-2. Applicant is John Hinzelman, 1614 Peoples Ave, Troy, NY 12180.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board:**

**Site Design Review:**

The applicant proposes to renovate an existing garage and construct an addition approximately 16'x16'. The addition will be used for storage. All exterior treatments are to match the principle structure and existing garage structure. All windows / doors will be salvaged and reused in addition.

Construction of the addition will require a poured foundation with frost walls to prevent movement inconsistent with movement from existing structure. Applicant has provided building plans sufficient for review and approval in accordance with the 2010 NYS Building Code.

**Stipulations**

**Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*

# ALTERATIONS & ADDITION TO GARAGE

1614 PEOPLES AVENUE  
TROY, NY 12180

JUNE 30, 2011 PERMIT & CONSTRUCTION SET

## ARCHITECT:

LANDMARK CONSULTING  
83 GROVE AVENUE  
ALBANY, NEW YORK 12208  
V/F: (518) 458-8942  
C: (518) 365-8660

## DRAWING INDEX:

### TITLE SHEET

SP1 SITE PLAN

A0.0 NOTES

A1.1 FOUNDATION PLAN

A1.2 FLOOR PLAN

A1.3 ROOF FRAMING PLAN

A2.1 FRONT ELEVATION

A2.2 SIDE ELEVATION & TYP. WALL SECTIONS

A2.3 REAR ELEVATION



LANDMARK  
 CONSULTING  
 83 GROVE AVENUE  
 ALBANY, NEW YORK 12208  
 V: (518) 458-8942  
 F: (518) 458-8977



PROJECT TITLE  
 HINZELMEN GORBERT GARAGE  
 1614 PEOPLES AVE  
 TROY, NY  
 SCHEMATIC DESIGN

DATE DESCRIPTION REV. #

SHEET TITLE  
 SITE PLAN

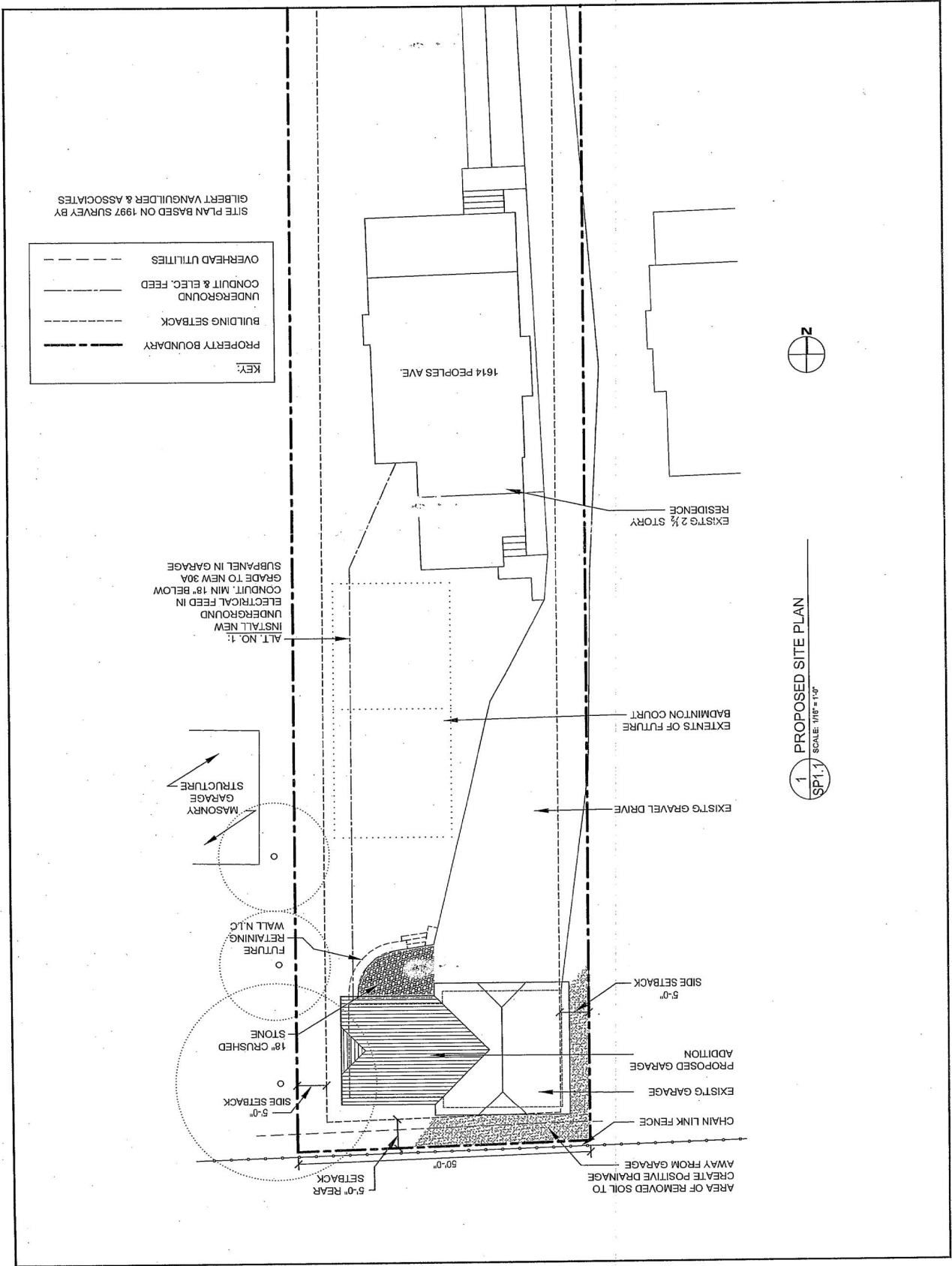
SCALE  
 1/16" = 1'-0"

DRAWN  
 KAO

DATE  
 6/30/11

PROJECT NUMBER

SHEET NUMBER  
 SP1.1



LANDMARK  
CONSULTING  
83 GROVE AVENUE  
ALBANY, NEW YORK 12208  
V: (518) 458-8942  
F: (518) 458-8977

HINZELMAN-GOERT GARAGE  
1614 PEOPLES AVENUE  
TROY, NY 12180  
  
SCHEMATIC DESIGN

DATE DESCRIPTION REV. #

SHEET TITLE  
SPECIFICATION NOTES

SCALE

DRAWN DATE  
JA 6/30/11  
PROJECT NUMBER

SHEET NUMBER  
A0.0

<p><b>GENERAL NOTES:</b></p> <p>1. CONTRACTOR TO FIELD VERIFY ALL SITE AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES AND/OR CONFLICTS TO ARCHITECT</p> <p><b>OUTLINE SPECIFICATIONS</b></p> <p>01100 SUMMARY</p> <ul style="list-style-type: none"><li>Renovation and addition of a wood framed, Type V construction 2 car garage within the City of Troy, NY 1514 Peoples Avenue.</li><li>Access to project site is limited to driveway access only.</li><li>Work includes the full removal and replacement of existing concrete slab with new Alaskan slab as shown on drawings. Removal of deteriorated bottom plate and approximately bottom 6" of wood stud wall. Wood stud wall and existing garage wall. Existing roof framing will be reinforced to support the addition of west addition roof. New wood framed west addition to be constructed on new concrete slab and frost wall. New clear Western Red cedar wood clapboard siding and shingles will be installed on addition to match existing garage coursing, exposure and finish. Site work to improve drainage and pith will be required as well as erosion control during and after construction.</li><li>Electrical service is necessary. All electrical receptacles shall be ground-fault interrupted circuits. New asphalt "architectural" shingle roof shall be installed on existing and new garage roofs after full removal of existing garage roof. Vapour-shield underlayment shall be installed over all roof areas.</li></ul> <p>Alternate # 1: Power service upgrades, removing existing garage electrical service and installing new underground electrical feed from house.</p> <p>Alternate # 2: Interlock metal roofing to be estimated as alternate for asphalt shingle roofing</p> <p><b>02200 SITE PREPARATION</b></p> <ul style="list-style-type: none"><li>Contractor shall be responsible for all waste removals at the end of each workday.</li><li>Waste materials shall be left broom clean and debris collected and removed from site.</li><li>Disposal containers shall be stored near garage on driveway or protected area near driveway.</li><li>Protection of existing features not to be removed on garage shall be provided, including but not limited to wood clapboards, trim and wood windows.</li></ul> <p><b>02300 EARTHWORK</b></p> <ul style="list-style-type: none"><li>Any excess excavated soil shall be removed and disposed off site</li><li>Contractor shall verify location of all below-grade utilities prior to excavation of soil for concrete foundations/piers</li><li>Existing roof drainage shall be maintained during construction. Temporary drainage means and erosion control shall be provided by contractor</li></ul> <p><b>03300 CAST-IN-PLACE CONCRETE</b></p> <ul style="list-style-type: none"><li>New concrete Alaskan slab shall be placed to depths noted on drawings.</li><li>New Slab on Grade to be 5" thick</li><li>All concrete shall have a 28 day 28 day strength and placed without air pockets</li><li>At least 2" of concrete shall be placed on 2" of 12" deformed steel bars, 2'0" o.c. ea. direction and around perimeter at base of slab.</li></ul>	<p><b>SITE PLAN NOTES</b></p> <p>1. ALL UNDERGROUND UTILITIES SHALL BE VERIFIED WITH APPLICABLE UTILITY COMPANIES AND THE CITY OF TROY BEFORE EXCAVATION BEGINS</p> <p>2. DAMAGE TO SITE SHALL BE MINIMIZED. AREAS TO BE DISTURBED AND WORK AREAS SHALL BE APPROVED BY OWNER BEFORE CONSTRUCTION BEGINS</p> <p>3. SITE EROSION SHALL BE CONTROLLED AT ALL TIMES</p> <p>4. WORK HOURS ARE LIMITED TO 7AM - 6PM M-F.</p> <p>5. NOISE AND DUST SHALL BE MITIGATED TO THE GREATEST EXTENT POSSIBLE</p> <p>6. OWNER RESERVES THE RIGHT TO OCCUPY PREMISES DURING CONSTRUCTION FOR THE PURPOSES OF CARRYING OUT SELF-PERFORMED WORK. ALL OSHA APPROVED SAFETY MEASURES SHALL BE IN PLACE TO SAFEGUARD BOTH OWNER, OWNER'S AGENTS AND LABORERS.</p> <p>7. POWER IS AVAILABLE AT GARAGE. FED BY OVERHEAD LINE THAT WILL BE REMOVED AND NEW POWER FEED WILL BE INSTALLED IN UNDERGROUND CONDUIT. DURING CONSTRUCTION, EXISTING POWER CAN BE USED.</p> <p>8. IF COMMERCIAL GRADE POWER IS REQUIRED, CONTRACTOR SHALL PROVIDE BY INDEPENDENT SOURCE.</p> <p>9. STORAGE OF MATERIALS ON SITE SHALL BE LIMITED.</p> <p>10. OWNER PARKING AND SIDEWALK RIGHTS OF WAY CANNOT BE USED</p> <p>11. REPORT ANY DISCREPANCIES ON DRAWINGS BEFORE COMMENCEMENT OF WORK TO ARCHITECT</p> <p><b>SELECTIVE REMOVALS NOTES:</b></p> <p>1. ANY LOAD BEARING ELEMENTS TO BE REMOVED FOR REPAIRS AND RESUPPORTING SHALL BE PROPERLY SHORED TO SAFELY CARRY LOADS TO PROPER BEARING POINTS</p> <p>2. EXTERIOR WOOD CLAPBOARDS TO BE REMOVED ONLY IN AREAS WHERE ATTACHMENT OF NEW STRUCTURE WILL BE LOCATED (ON WEST EXTERIOR WALL AND AROUND BASE OF GARAGE</p> <p>3. ALL NECESSARY PROTECTIVE MEASURES FOR WEATHER-TIGHTNESS DURING SELECTIVE REMOVALS AND CONSTRUCTION SHALL BE PERFORMED</p>
--	---

06100 ROUGH CARPENTRY

- LVL engineered lumber shall be used to sister onto existing garage door header, of dimensions shown in drawings
- All lumber for partitions, bearing walls and other reinforcement shall be structural grade, kiln dried, straight and true
- New plywood subflooring shall be 3/4" CDX

06200 FINISH CARPENTRY: Pertains to all exterior wood trim work

07100 DAMPROOFING/WATERPROOFING

- New structural wood sitting on masonry or concrete shall be pressure treated

07300 ROOF COVERINGS

- As noted in Summary

07400 SIDING

- Wood siding shall be reused from removals. Where wood siding cannot be reused, new wood siding shall be as compatible as existing in terms of exposure, profile and finish.

07800 JOINT SEALANTS

- Dow Corning 795 Clear, paintable (or equal) shall be used in all joint sealant locations. Sealants shall be limited to specific areas under windows where porch roof intersects under wood sills
- Existing west window shall be removed and relocated in addition as shown on drawings.
- Owner to provide salvaged fanlight for west elevation. New frame to be shop fabricated to accommodate salvaged unit.

08140 DOORS

- Salvage and reuse existing garage door.
- Owner to provide salvaged double swinging doors or to be shop fabricated.

08500 FINISHES

- Garage interior will have exposed stud walls - no finish required

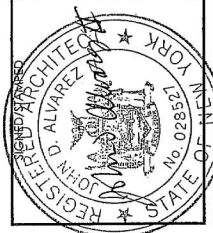
08900 PAINTS & COATINGS

- New exposed concrete slab shall be sealed during initial curing.

LIGHTING/ELECTRICAL, PLUMBING AND HEATING SHALL BE PERFORMED AS "DESIGN-BUILD" AND APPROPRIATE DOCUMENTS AND PERMITS SHALL BE SUBMITTED TO CITY OF TROY FOR REVIEW AND INSPECTIONS.



LANDMARK  
CONSULTING  
83 GROVE AVENUE  
ALBANY, NEW YORK 12208  
V: (518) 458-8942  
F: (518) 458-8977



HINZELMEN GOBERT GARAGE  
1614 PEOPLES AVE  
TROY, NY

SCHEMATIC DESIGN

DATE	DESCRIPTION	REV. #

SHEET TITLE  
FOUNDATION PLAN

SCALE  
1/4"=1'-0"

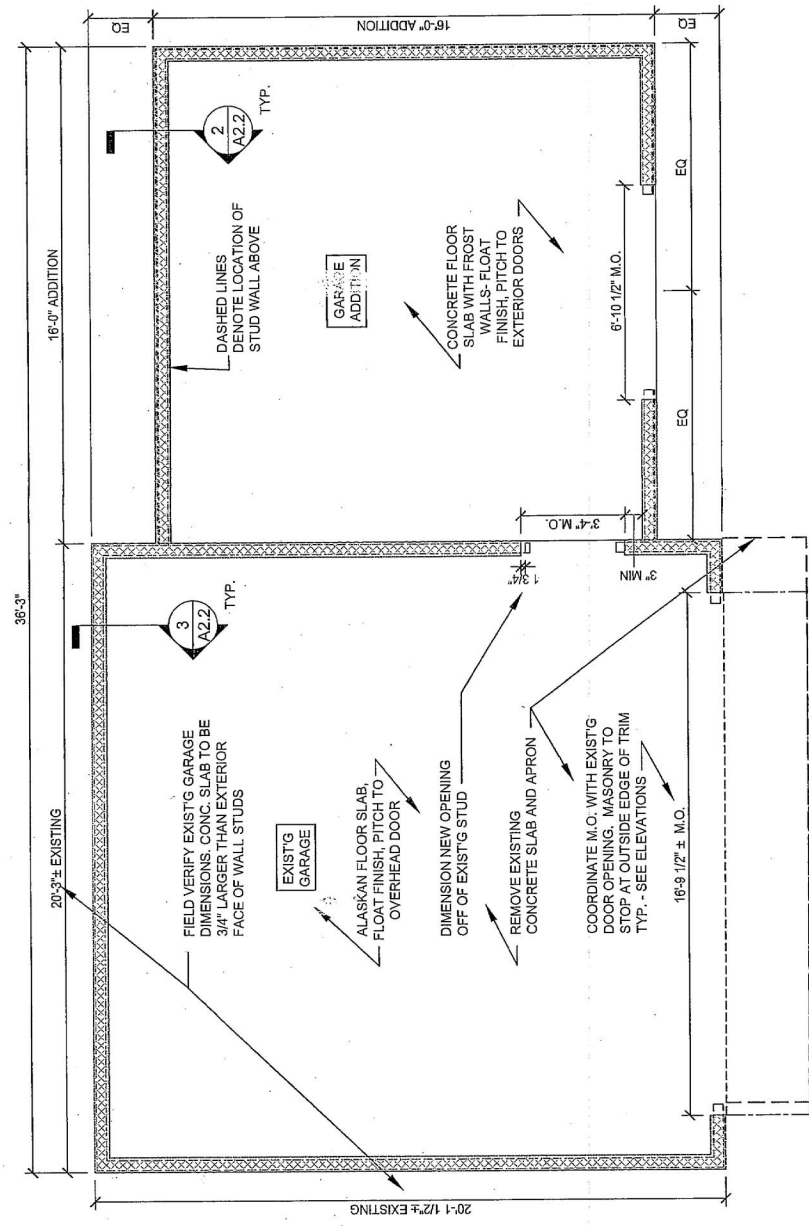
DRAWN  
KAO

DATE  
6/30/11

PROJECT NUMBER

SHEET NUMBER  
A1.1

256 SF  
Add



1 FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

LANDMARK  
CONSULTING  
83 GROVE AVENUE  
ALBANY, NEW YORK 12208  
V: (518) 458-8942  
F: (518) 458-8977



PROJECT TITLE  
HINZELMEN GOBERT GARAGE  
1614 PEOPLES AVE  
TROY, NY

SCHEMATIC DESIGN

DATE DESCRIPTION REV. #

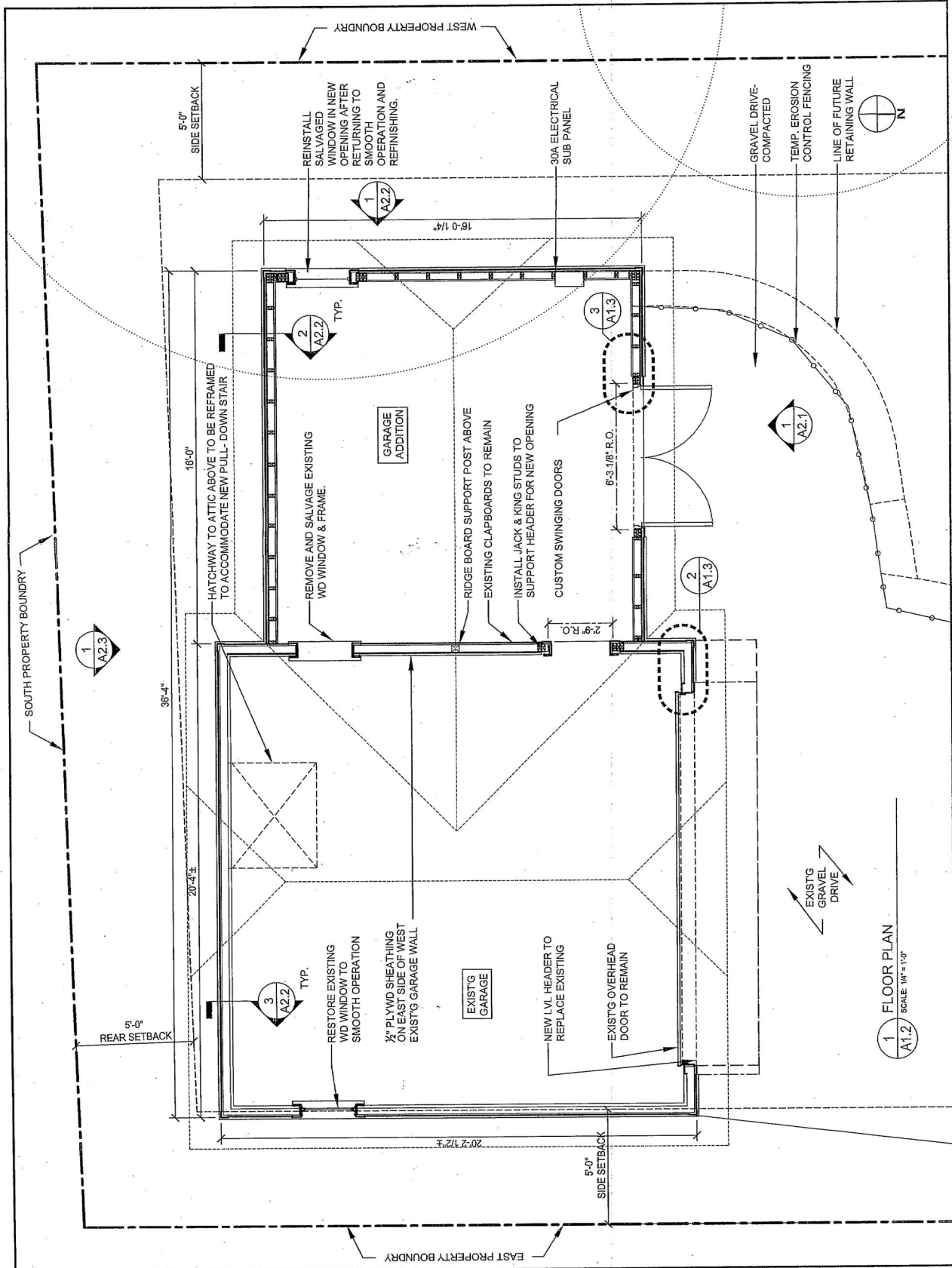
SHEET TITLE  
FLOOR PLAN

SCALE  
1/4"=1'-0"

DRAWN DATE  
KAO 6/30/11

PROJECT NUMBER

SHEET NUMBER  
A1.2



1 FLOOR PLAN  
A1.2  
SCALE: 1/4" = 1'-0"

LANDMARK  
CONSULTING  
83 GROVE AVENUE  
ALBANY, NEW YORK 12208  
V: (518) 458-8942  
F: (518) 458-8977



HINZELMEN GOBERT GARAGE  
1614 PEOPLES AVE  
TROY, NY  
SCHEMATIC DESIGN

DATE DESCRIPTION REV. #

SHEET TITLE  
ADDITION  
ROOF FRAMING  
PLAN

SCALE  
1/4"=1'-0"

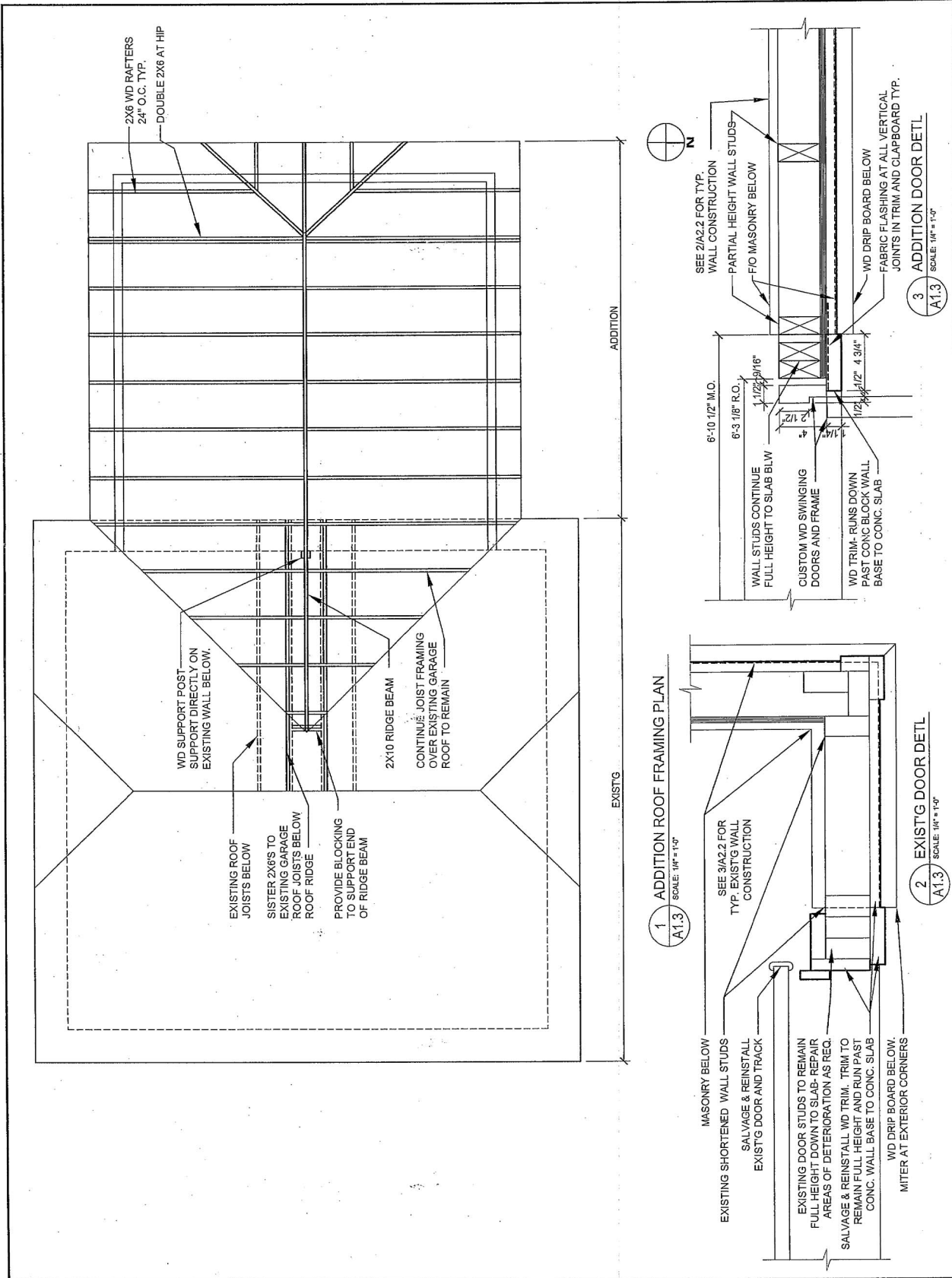
DRAWN  
KAO

DATE  
6/30/11

PROJECT NUMBER

SHEET NUMBER

A1.3



LANDMARK  
CONSULTING  
83 GROVE AVENUE  
ALBANY, NEW YORK 12208  
V: (518) 458-8942  
F: (518) 458-8977



HINZELMEN GOBERT GARAGE  
1614 PEOPLES AVE  
TROY, NY

SCHEMATIC DESIGN

DATE DESCRIPTION REV. #

SHEET TITLE

FRONT ELEVATION

SCALE  
1/4" = 1'-0"

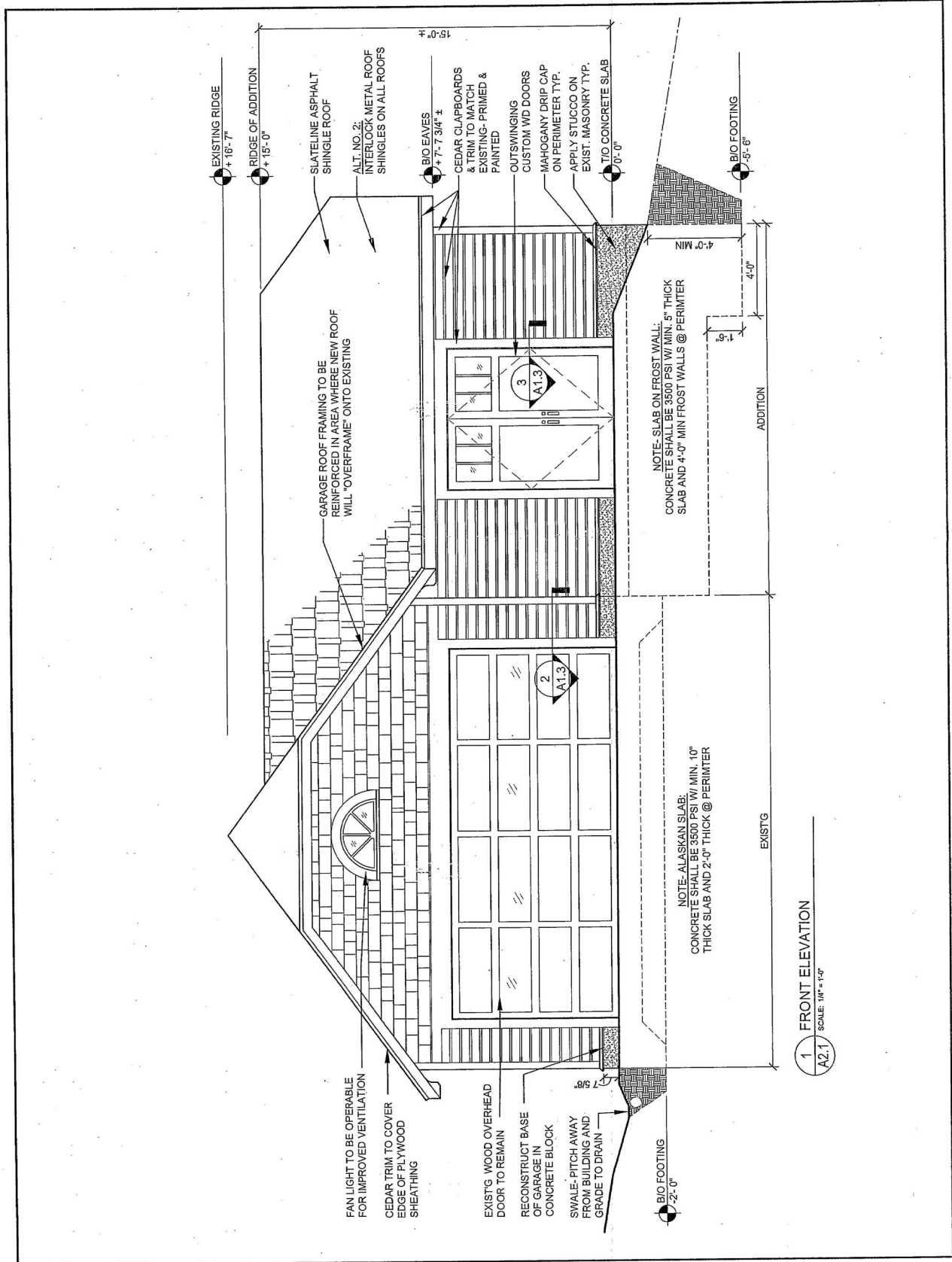
DRAWN  
KAO

DATE  
6/30/11

PROJECT NUMBER

SHEET NUMBER

A2.1



LANDMARK  
CONSULTING  
83 GROVE AVENUE  
ALBANY, NEW YORK 12208  
V: (518) 458-8942  
F: (518) 458-8977



HINZELMEN GOBERT GARAGE  
1614 PEOPLES AVE  
TROY, NY

SCHEMATIC DESIGN

DATE DESCRIPTION REV. #

SHEET TITLE

SIDE ELEVATION

SCALE  
1/4" = 1'-0"

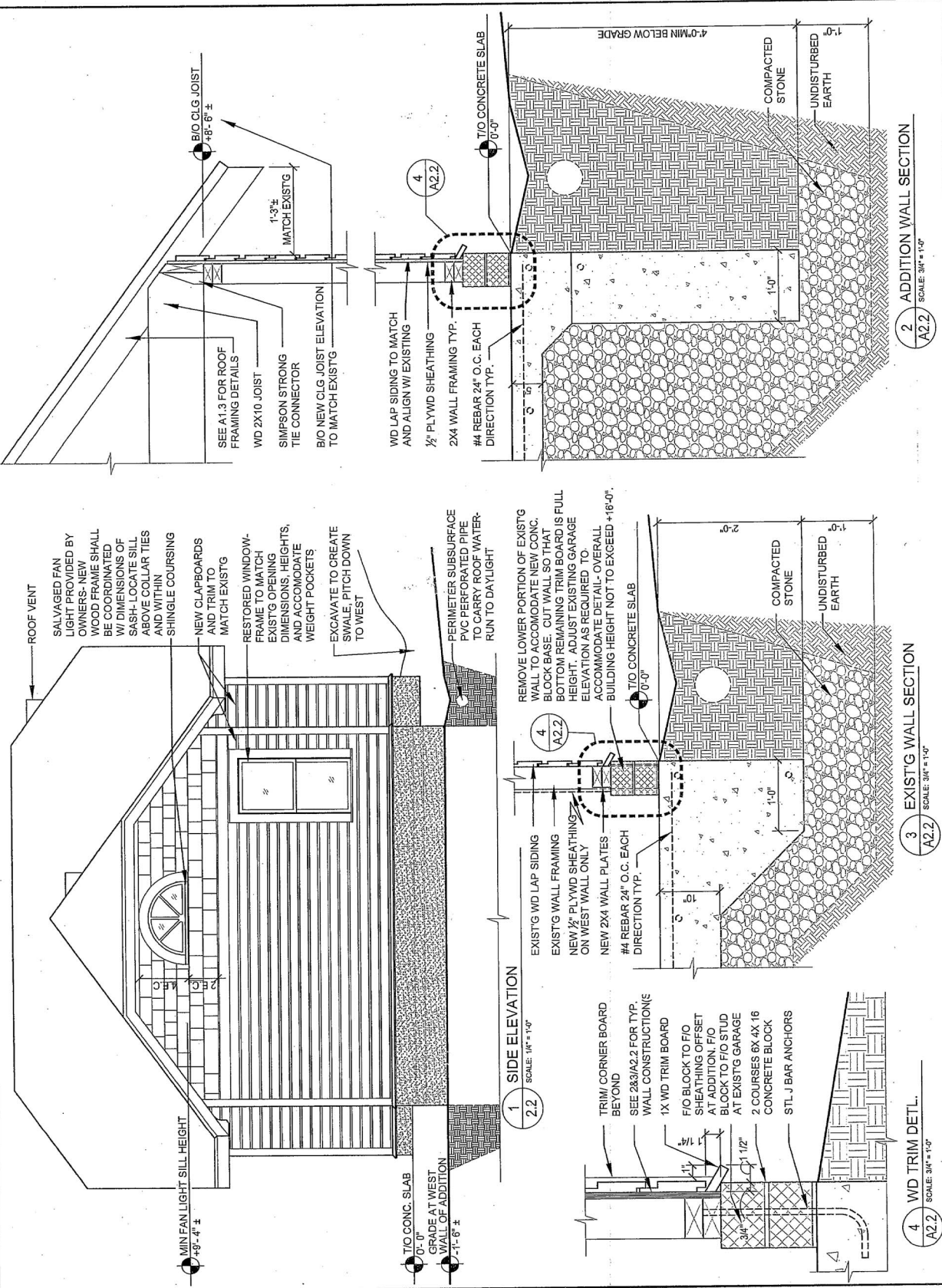
DRAWN  
KAO

DATE  
6/30/11

PROJECT NUMBER

SHEET NUMBER

A2.2







**Staff Report # PB2012-007**

**Applicant:** Samuel Judge

**Project Summary:**

**PB2012-007** SEQRA and Site Plan Review of a proposal to expand an existing hair salon into an adjacent storefront. Project location is 193-211 (Quayside) River Street, a B-4 Zone, ID 100.60-1-14.1. Applicant is Samuel Judge, 251 River Street, Troy, NY 12180.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action**

**Prior Zoning Board:**

**Site Design Review:**

The applicant proposes to expand an existing business and services (Indigo Salon) into an adjacent storefront in the same building located on the same parcel. The business will also expand into the basement level. The applicant is completing a full code analysis of the building to determine fire separation and accessibility needs.

The applicant will keep same business hours and expand services to include tanning, massage services and expanded salon services.

**Stipulations**

Applicant shall submit signage to planning staff for historic district appropriateness.  
Applicant shall apply for a work permit for a tenant fit up and *Certificate of Occupancy* with the building department prior to occupying the space.

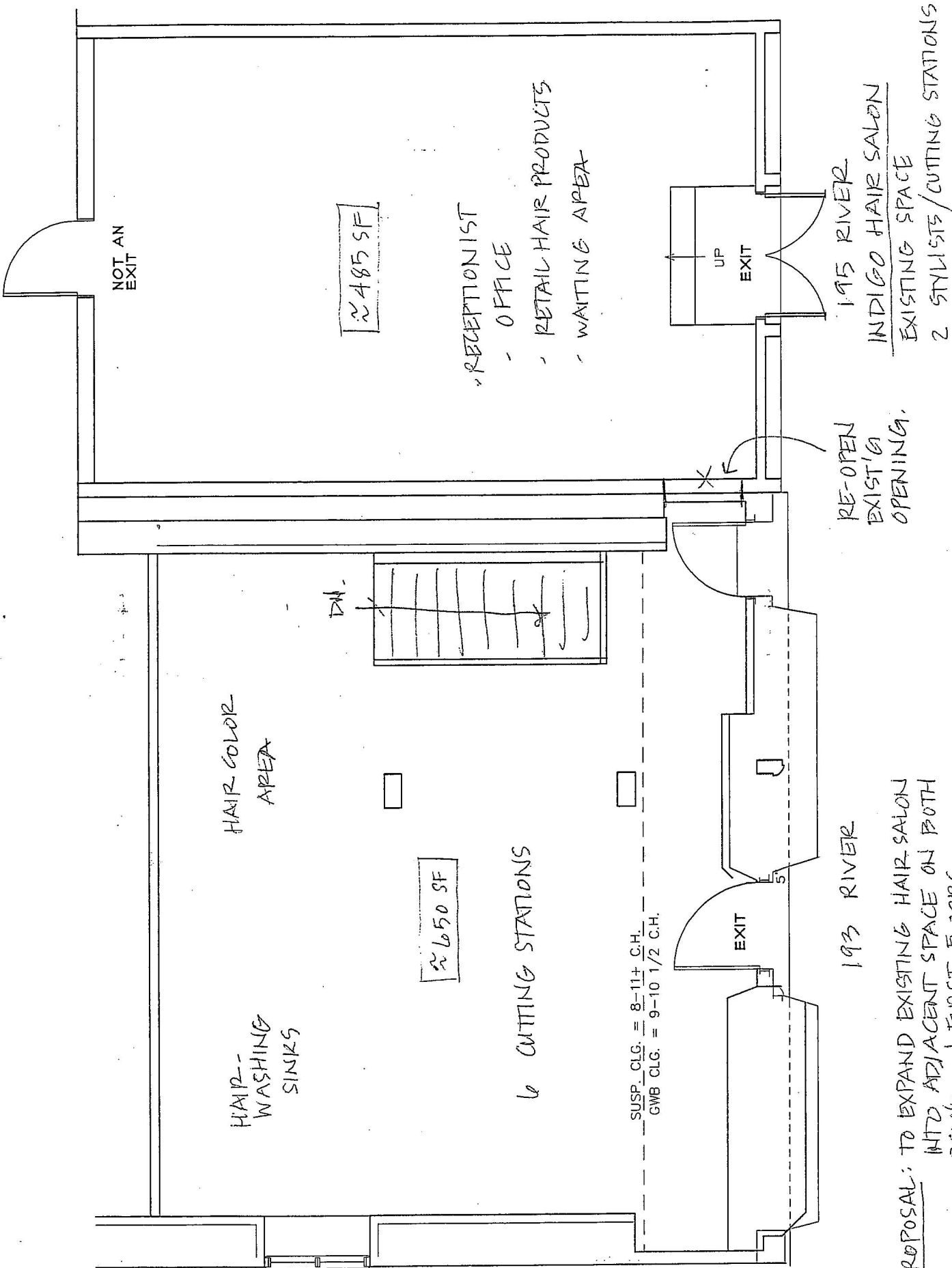
**Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*



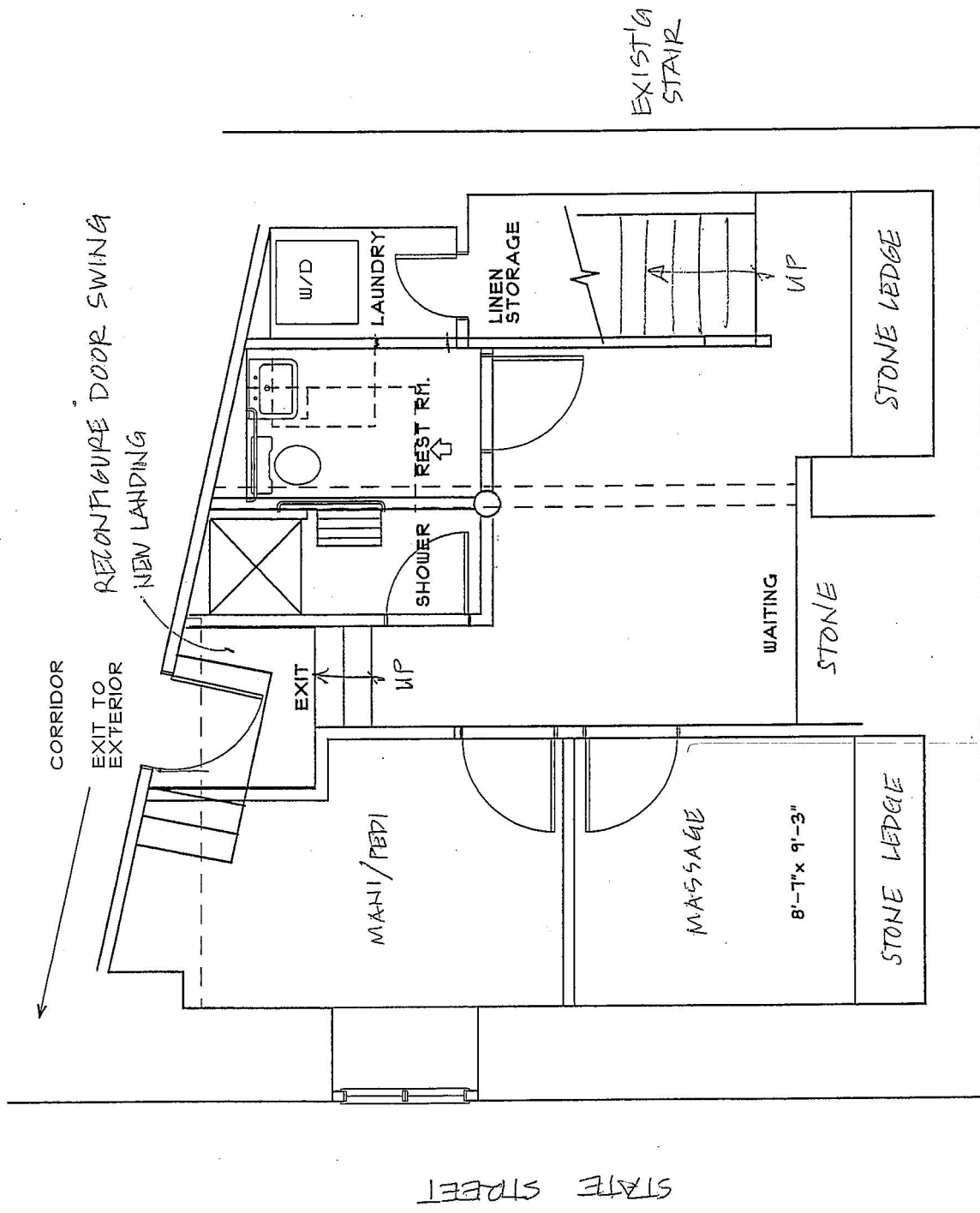
STATE STREET



PROPOSAL: TO EXPAND EXISTING HAIR SALON  
INTO ADJACENT SPACE ON BOTH  
BSMT and FIRST FLOORS.

FIRST FLOOR PLAN - EXISTING

1/4/12



EXISTING BASEMENT FLOOR PLAN [≈ 530 SF]

193 RIVER



**Staff Report # PB2012-008**

**Applicant:** Ahuja Shali

**Project Summary:**

**PB2012-008** SEQRA and Site Plan Review of a proposal to occupy a vacant commercial space with a dentist office. Project location is 5 Broadway (Cannon Building), a B-4 Zone, ID101.53-7-2. Applicant is Ahuja Shali, 5 Broadway, Troy, NY 12180.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action** January 2012, applicant was approved for same use at 455 Fulton Street. The applicant could not execute lease.

**Prior Zoning Board:**

**Site Design Review:**

The applicant proposes to occupy a vacant commercial space, most recently a clothing store with a single practicing dental office specializing in infants and children. The 1000 SF space will consist of a reception area, waiting room, handicap accessible bathroom and 2 dental stations. Applicant proposes window signage to conform to the City of Troy Zoning Ordinance and will be required to conform to historic district guidelines for font and color. Applicant hours of operation 730AM – 7PM Monday – Saturday.

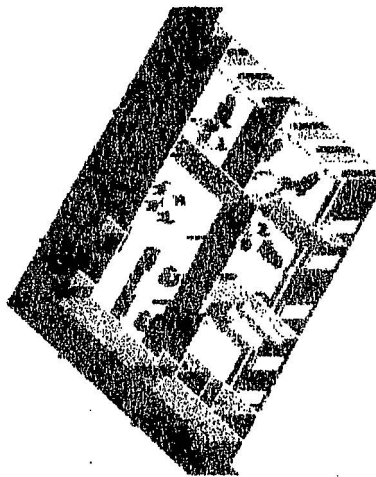
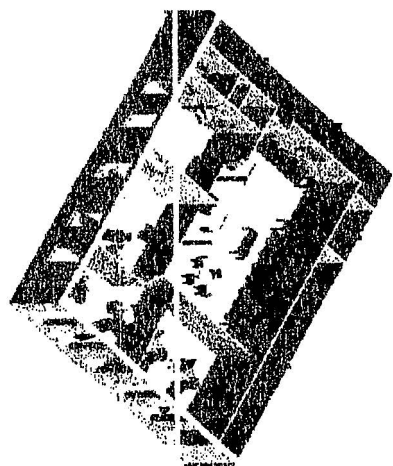
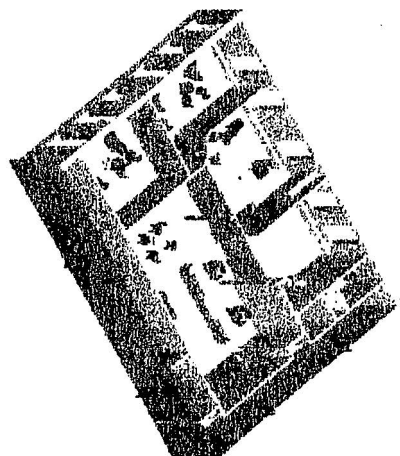
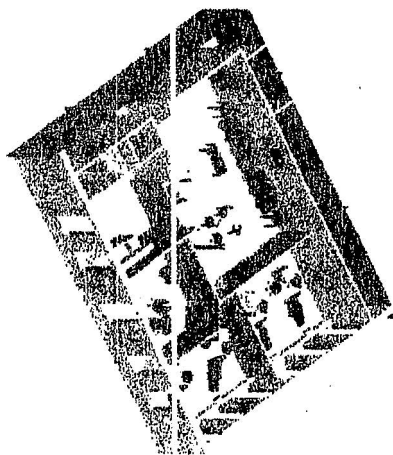
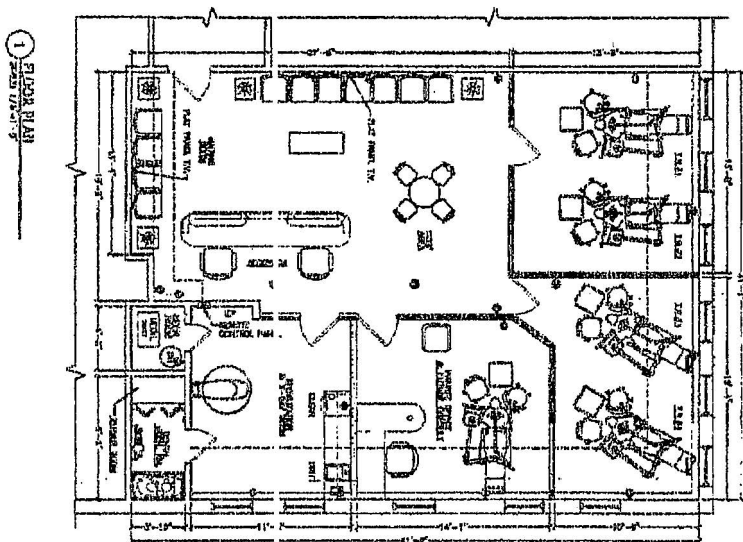
**Stipulations**

Applicant shall submit all proposed signage for planning staff review (Historic Appropriateness) Applicant shall apply for a work permit for a tenant fit up and *Certificate of Occupancy* with the building department prior to occupying the space.

**Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*



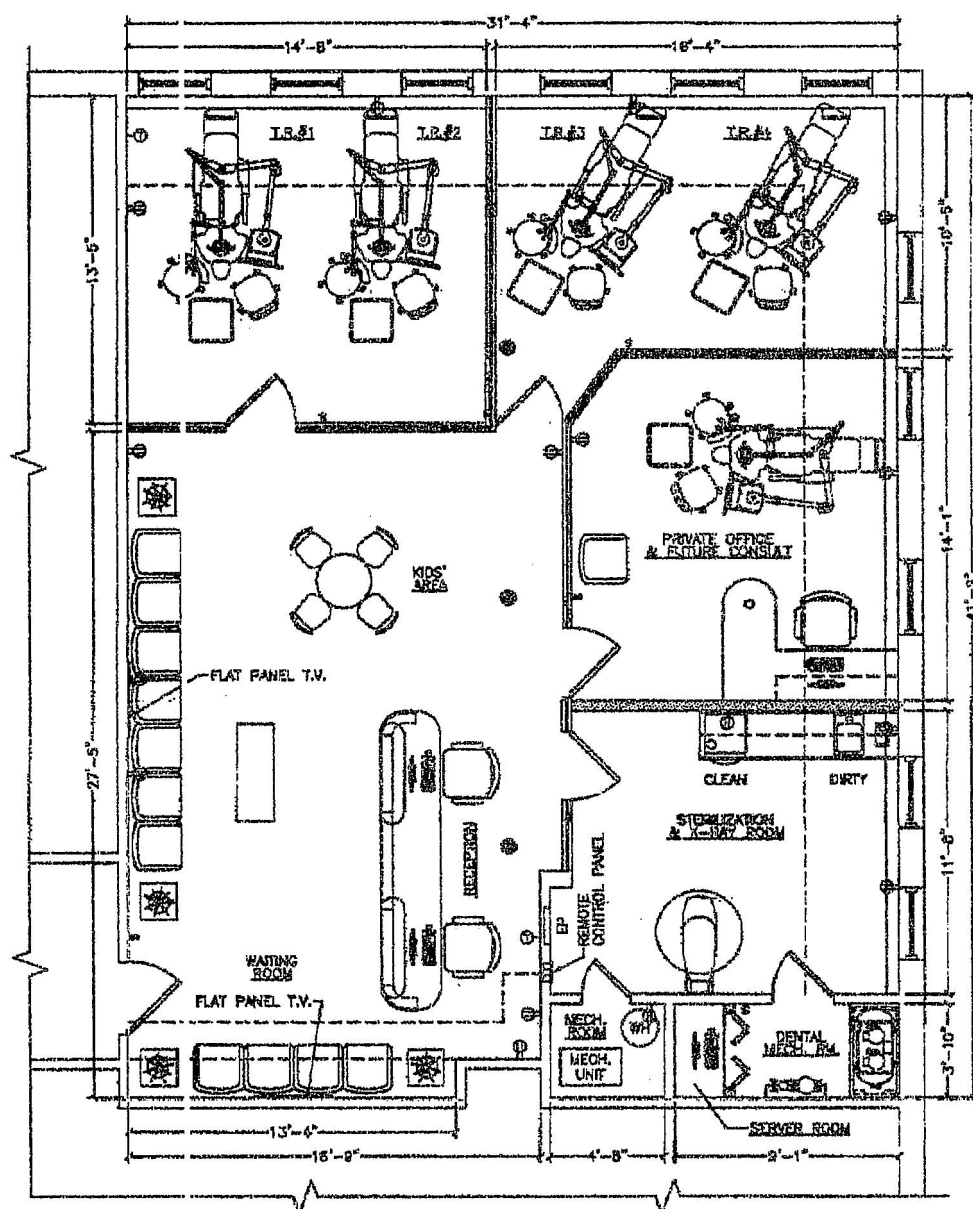
3,45

[illegible]

Steel Analysis DDS  
Troy, NY



Barbara Derleat  
295 CenterPoint Blvd.  
Pittsbn, Pennsylvania 15645



APPROVED \_\_\_\_\_

DATE \_\_\_\_\_



Insite / Enco Dental  
 295 CenterPoint Blvd.  
 Pittston, Pennsylvania 18640  
 TEL: 570-625-7711, FAX: 570-602-4933

PRELIMINARY FLOOR PLAN FOR:  
 Dr. Shali Ahuja DDS

PLAN #: EM12001-KH  
 DWN BY: KH

DATE: 1/24/12.  
 SCALE: N.T.S.

APPROX. USABLE SQ. FT.:  
 1,254 SQ. FT.





**Staff Report # PB2012-009**

**Applicant:** Tad Akil

**Project Summary:**

**PB2012-009** SEQRA and Site Plan Review of a proposal to occupy a vacant storefront with a shoe store. Project location is 97 Congress Street, a B-4 Zone, ID 101.61-1-3. Applicant is Tad Akil, 97 Congress Street, Troy, NY 12180.

**SEQRA** : Pursuant to 6 N.Y.C.R.R. Part 617, the described proposal is subject to the State Environmental Quality Review Act and is classified as an Unlisted action. The applicant has completed an Environmental Assessment Form (E.A.F.), and based upon the submission of an EAF adequate information is available to determine that no significant impacts are likely to occur as a result of this proposal. No Federal agencies are involved; no other agencies are known to be involved.

**Prior Planning Board Action** Approved Gyro and Burger take out restaurant April 2008. The applicant could not meet the NYS building and mechanical code for commercial exhaust.

**Prior Zoning Board:**

**Site Design Review:**

The applicant proposes to relocate an existing sneaker and clothing store “Captain Denim. Currently located at 114 Congress Street, the location will be in the same block. The applicant proposes to complete façade renovations as outlined in JAMAC Holdings original Planning Approval from 2008. A new door and exterior trim will be added to the scope of work after a recent vehicle / building accident. The applicant will utilize historic appropriate signage that conforms to the B-4 Zone. Original Planning Board approval of the sign to be relocated is dated April 2007. Applicant hours of operation Monday – Saturday 9AM-7PM

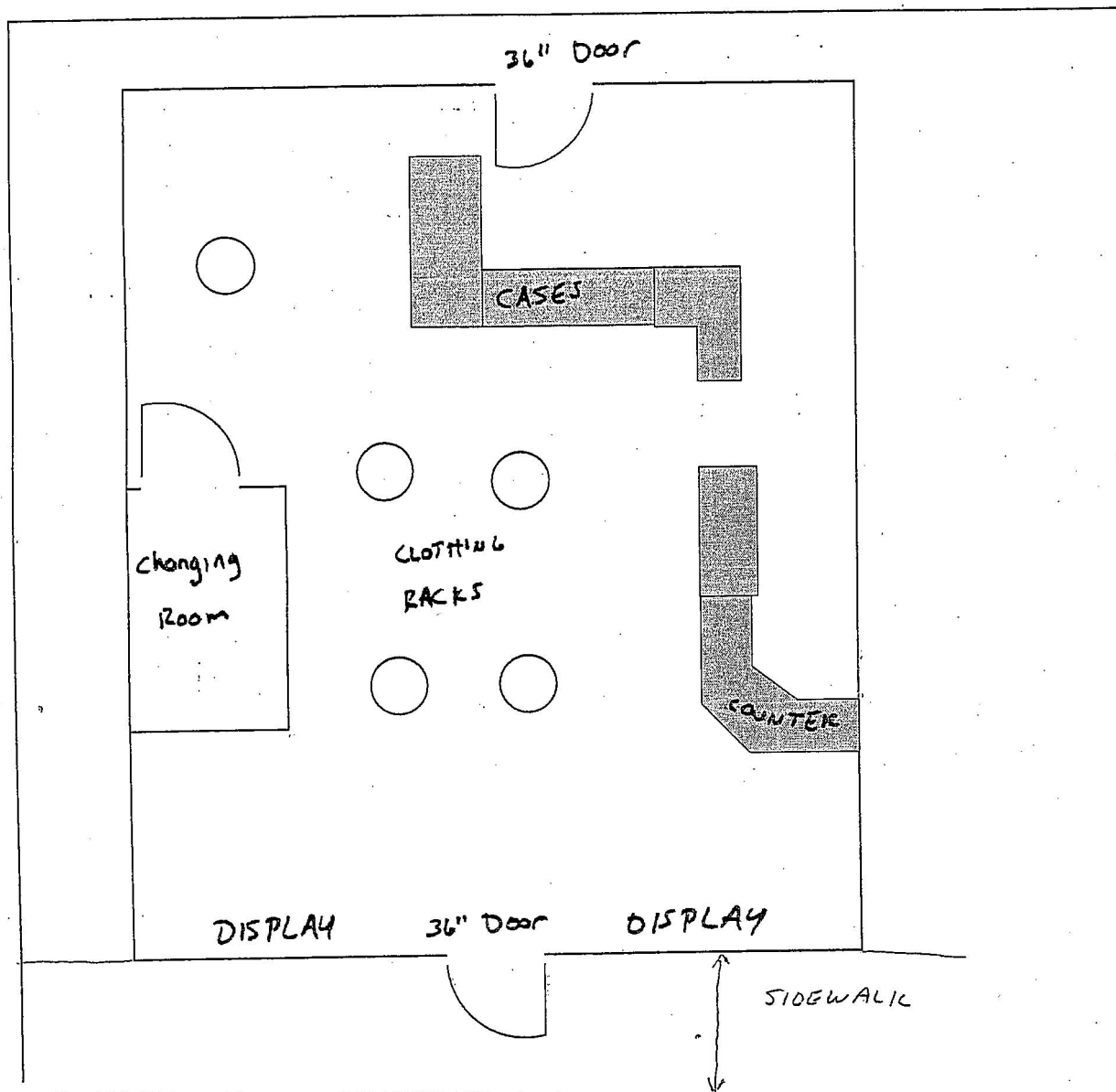
**Stipulations**

Applicant shall apply for a work permit for a tenant fit up and *Certificate of Occupancy* with the building department prior to occupying the space.

**Recommendations:**

Planning Staff recommends the site plan review proposal be heard on the **Consent Agenda** at the February 16, 2012 planning board meeting.

*All projects approved are to be reviewed in accordance with the 2007 NYS Building Code, NYS Fire Code and all other applicable codes.*



115

4TH STREET

